



# Home Inspection Report

Prepared Specifically For:

Inspected Address:

Report #



**BUYERS' INSPECTION GROUP, INC.**

**[buyersinspectiongroup.com](http://buyersinspectiongroup.com)**

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310 Mills Avenue, Ste. 202, Greenville, SC 29605 ☐ (864) 235-1019 ☎ 1-800-273-1556 ☎

Fax (864) 467-1448

## **BUYERS' INSPECTION GROUP, INC.** **PRE-INSPECTION AGREEMENT IS SUBJECT TO ARBITRATION**

**This report is presented with the express understanding that the Client accepts the conditions and limitations, and having carefully read this agreement, agrees with all the terms and conditions which have been set forth below.**

The Client agrees to employ the Inspector, and the Inspector agrees to accept the employment. Said employment shall be to provide the Client with a report and analysis of the property. Both the Client and the Inspector agree that said employment, report, and analysis and any subsequent employment, report, and analysis shall be subject to this Agreement and to the terms and conditions contained herein. Therefore, based on the above and on other good and valuable consideration, the Client and Inspector agree as follows:

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### **What and How We Inspect**

The inspection covers the roofing system, interior electrical system, interior plumbing system, structural components, air conditioning and heating system, exterior siding and trim, doors and windows, chimneys and fireplaces, appliances, driveways, walkways, and grading. The inspection and report will conform to the standards of the American Society of Home Inspectors®, copies of which are available upon request. The inspection is **visual** and is not technically exhaustive. No engineering or other sciences are used. Although care will be taken in the performance of the inspection, the Client acknowledges that the report and analysis will be based upon brief, limited, observations of the visible and readily accessible areas and apparent condition of the building and its major components on the date of the inspection; that no representation is made regarding latent or concealed defects; and that failure of the building and/or its components can occur at any time. **The purpose of this inspection is to find major defects. It is not intended to find, and we will not find, every discrepancy or repair needed.**

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### **What We Don't Inspect**

Outbuildings, components not normally visible or obstructed at the time of the inspection, and components not mentioned in the report are specifically excluded from the inspection and report.

Cosmetic items including, but not limited to, paint, other finish treatments, floor coverings, minor cracks in walls or windows, and window treatments are excluded.

We do not inspect for the presence or absence of wood destroying organisms. A separate Wood Destroying Organism Inspection Report should be obtained.

The report does not cover compliance or non-compliance with any governing codes, laws, ordinances, restrictive covenants, and statutes (past or present), including but not limited to, building codes, zoning and land use, and fire codes.

The report or inspection does not address any manufacturers' recalls, if any, that may be related to the house, its components, or equipment in or of the house, other than those known by our company.

No report is made on safety, security, insurance, or the advisability or inadvisability of purchase of the property.

**The inspection and report do not address and are not intended to address the possible presence or danger from any potentially harmful substances and environmental hazards, including but not limited to, asbestos, radon gas, lead, mold & mildew, urea, formaldehyde, toxins, carcinogens, flammable substances, and contaminants in soil, water, or air.** (Radon gas and mold & mildew testing is available at additional cost.)

Maintenance and other items may be discussed, but they are not part of the inspection and report. The report does not cover heat exchangers, dryness of basements or roofs, swimming pools, spas, tennis courts, and other recreational equipment. The report does not cover on-site waste disposal or on-site water supply systems, including but not limited to septic tanks, cesspools, drain fields, underground well systems, geothermal heat pumps or any of their components, or any part or component thereof not mentioned in the report, unless specifically stated in the report.

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### **Good Advice**

The Client is advised that all buildings older than brand new are likely to have building code violations. Numerous changes are made to codes every year, and the older the building, the greater the deviation from modern standards.

Statistical comparisons of repairs contained in the report are helpful but are sometimes unreliable and should not be considered as fact. There are many exceptions to the normal lifespan of components and to costs of repairs (i.e., your roof may not achieve a "typical lifespan").

The inspection and report are general in nature. The Client is urged to consult independent experts for more accurate assessments or estimates where needed.

The Client agrees to read the entire report and is urged to call the Inspector at any time for an explanation of any items in the report that are not clearly understood.

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## What Words Used in the Report Mean

The terms **adequate** and **functional** as contained in the inspection report mean that in the opinion of the Inspector, based solely on **visual inspection of conditions at the time of the inspection**, the item is still performing its intended function (i.e., the refrigerator keeps food cold, the hot water heater heats water). These terms should not be taken to mean that the item is in "like new" condition. Do not be dismayed because words such as "good" or "excellent" do not appear in the report. They are not used in any of our reports.

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## Report Is Not A Warranty

**The Client agrees that all conclusions made by the Inspector based on opinions expressed in the report do not constitute a warranty, guarantee, or policy of insurance, either implied or expressed, regarding the adequacy, performance, or condition of any structure, item, or system, and that the report is not to be used as such. The Client and the Inspector agree that the inspection and report in no way lessen the risk or likelihood of repairs or replacements being needed at any time in the future, and that the Inspector and its employees or agents assume no liability or responsibility for the cost of repairing any unreported defects or deficiencies, either current or arising in the future, or for any property damage, consequential damage, or bodily injury of any nature.**

The Client is advised that repair service contracts and/or warranties are available from various other sources. The Inspector strongly urges the client to purchase a repair service contract or warranty.

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## Liquidated Damages

Buyers' Inspection Group, Inc., assumes no liability and shall not be liable, beyond the cost of this report, for any mistake, omission, or error in judgment of its duly constituted representatives. This limit of liability shall include and apply to all consequential damages, bodily injury, property damage, or any other damages arising out of the inspection or this report. In the event a claim is made against Buyers' Inspection Group, Inc., for any alleged error, omission, or other act arising out of the inspection or report and said claim fails, the claimant shall be responsible for ALL attorneys' fees, cost, and other legal expenses incurred by Buyers' Inspection Group, Inc., in defense of said claim.

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## Arbitration

I and the inspection company agree to submit disputes for resolution to the American Arbitration Association in accordance with their rules and use the "Standards of Practice" of the American Society of Home Inspectors® as the gauge. Property or equipment in the dispute will be made available for viewing and arbitration. Arbitration will occur at the property, and I will immediately phone and write Buyers' Inspection Group, Inc., of any claim. Repairs or replacements accomplished without consultation with Buyers' Inspection Group, Inc., completely relieve the Inspector and Buyers' Inspection Group, Inc., of any and all liability.

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## More Fine Print

**The report contained herein is given solely for the use and benefit of the Client and is not intended to be for the benefit of or relied upon by any other buyer, lender, title insurance company, or other third party.** Terms, conditions, and language used in the Inspection Report are herein incorporated by reference. In the event of any claims or disputes that may arise, the Client agrees to allow the Inspector or his agents to examine the item or component **before** any repairs or replacements are undertaken. The Client agrees that failure to allow said examination shall constitute a waiver of any and all claims against the Inspector. Entrance by the Inspector upon property to be inspected shall not be deemed a trespass. Captions as to the contents of particular provisions of this Agreement are intended for convenience only and are not to be considered in construing this instrument. In case any one or more provisions contained in this Agreement shall, for any reason, be held invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had not been contained herein. This agreement shall be governed by the laws of the State of S.C. This agreement sets forth the entire understanding of the parties and no prior or subsequent agreements, oral or otherwise, shall be of any force and effect. The performance or execution in whole or part of this Agreement shall not constitute a waiver thereof.

**Client: Edward Abahazi**

**Inspection Address: 14 Delgado Way, Simpsonville, SC 29681**

**Report #66898S**

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## PERSPECTIVE SUMMARY<sup>1</sup>

The State of South Carolina Residential Property Condition Disclosure Statement (hereafter referred to as the Seller's Disclosure Statement) was not located at the time of inspection. Recommend reviewing this Disclosure Statement for additional information about this house.

The inspected components appear to be in adequate condition, with some exceptions. Comparing this house to other houses of this age and type previously inspected, the condition of visible, inspected components appears to be fairly typical. As is common in any house this age, some components have been replaced and are relatively new. Others are at or near their typical replacement ages. The number of repairs in this report is typical for houses this age. Bear in mind that all homes need repairs of one type or another, even if only minor. Some of the reported repairs are of the type that one might be inclined to live with under ordinary circumstances. Buyers and owners of homes often have different perspectives on this issue.

The immediate and/or major concerns include:

- Electrical discrepancies
- Plumbing discrepancies
- Roof discrepancies and granular loss

Other repairs are needed as mentioned in the report. Not all the repairs are urgent, and some of the items you possibly would ignore if you were already living in the house.

Possible concerns over the next several years include:

- Replacement of or repair to the roofing materials.
- Replacement of or repair to the heating and cooling system.
- It is not a certainty that all of these components will need repairs or replacement, but rather a possibility. The purchase of a warranty or repair service contract is recommended.<sup>2</sup>

While we make an effort to identify existing or potential problems, it is not possible for a home inspector to predict the future. Unforeseen repairs can happen at any time, which is true for any house. Budgeting for unexpected repairs, as well as likely replacement and repairs, is recommended. Please feel free to call if you have any questions.

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<sup>1</sup> Any repairs should be made by properly licensed contractors. Ask the seller to provide you with the invoices for the repair work. If you wish to have us inspect repairs, fees are \$150.00 minimum for the first 1/2 hour and \$35.00 per quarter hour thereafter.

<sup>2</sup> We recommend that you purchase a warranty or repair service contract. Consult your Realtor for this service.

**Report #**



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# Home Inspection Report

Steve Porter	Margaret Monprode
SC#101	SC#48821
ASHI®#31204(Ret)	ASHI®259249
Greg Worley	Caroline Farthing
SC #584	SC#49254

CLIENT:

PHONE:

INSPECTION ADDRESS:

SUBDIVISION:

DATE OF INSPECTION: TIME: 9:00

APPROXIMATE AGE OR DATE: 11 ± years

TYPE OF STRUCTURE: Wood framed.

STYLE: One story.

OCCUPIED: Yes

CLIENT PRESENT: Yes. Present for last part of the inspection.

OTHERS PRESENT:

WEATHER AND SOIL CONDITIONS: Cloudy and wet.

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The report contained herein is CONFIDENTIAL, is given solely for the use and benefit of the client, and is not intended to be for the benefit of or to be relied upon by any other buyer, lender, title insurance company, or other third party. Terms and conditions crucial to interpretation of the report are contained in a separate Pre-Inspection Agreement. The report conforms to and exceeds the standards of the American Society of Home Inspectors® (a copy is available upon request) and the South Carolina Residential Builders Commission standards of practice for home inspectors, adopted May 13, 1998 (a copy is available upon request). Components are identified and their apparent condition is reported. The purpose of this inspection is to determine if there are any visible, major deficiencies with the structure and systems by using standard inspection procedures. The intent of this inspection is not to determine, **and the inspector will not find**, every defect. ***The client should consult the terms of the sales contract to determine whether any of the items contained within must be repaired by the owner prior to closing.*** The Inspector, for the convenience of the client, lists items that appear to need attention or repair in the following formats:

**MAJOR REPAIR:** These are repairs that in the opinion of the inspector might cost more than \$1,000 to remedy.

**MINOR REPAIR:** These are repairs that in the opinion of the inspector might cost between \$100 and \$1,000 to remedy.

**NOMINAL REPAIR:** These are regular maintenance items or repairs that in the opinion of the inspector would normally cost less than \$100.

**SAFETY CONCERN:** These are conditions that are a real or potential threat to safety or health (regardless of cost to repair).

**INVESTIGATE FURTHER:** These are conditions that appear to warrant further investigation by a specialist or more information from a homeowner. This includes conditions that require destructive inspection, engineering, or analysis beyond the scope of a visual home inspection.

- These are observations or suggestions to improve efficiency, for preventative and routine maintenance, or for upgrades.

Any reporting on other issues, such as cosmetic damage, is included for your information only and should not be relied upon as items that may or may not be repaired under the terms of your sales contract. If in doubt, consult your sales contract, Realtor, and/or closing attorney to explain your rights and obligations under your sales contract. The Inspector offers no warranties or representations as to your rights or obligations under any sales contract.

Any photos provided in the report are to illustrate or help describe a concern or problem area. A photo may show only one concern or problem area as an example. Photos are not intended to illustrate every concern or problem area.

All directional references are made facing the front of the house.

- The WIFI component/capability for any of the appliances (if present) was not inspected. Have owner demonstrate this function.

## FOUNDATION/SLAB

Foundation: Masonry that typically have concrete footings. The footings are not visible and were not inspected.

Floor: Concrete slab on grade that usually has some fill dirt below the slab.

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- The foundation is masonry with a concrete slab floor and a garage slab. There is no basement or crawlspace.
- This inspection and/or report is not a termite/moisture letter (CL-100). All homes should be inspected by a licensed termite contractor.
- Minor cracking was observed. These are typical for this type of foundation and floor. Most concrete slabs can be expected to crack.
- Nearly all of the concrete floor is concealed by the floor coverings. No signs of significant cracks were detected through the floor coverings. The floor appears to be nearly level, and no signs were seen which indicated there has been any abnormal settling.

## SLAB (garage)

Foundation: Masonry, which typically have concrete footings. The footings are not visible and were not inspected.

Floor: Concrete slab on grade, which usually has some fill dirt below the slab.

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- Minor cracking was observed. These are typical for this type of foundation and floor. Most concrete slabs can be expected to crack.
- Items were stored in this area, which obstructed much of the slab and base of the walls. See examples in lower photos. There could be discrepancies such as cracks, settling, or termites that were not visible because of the stored items. While there are no visible signs of any of these problems, the slab should be observed when the items are removed.<sup>3</sup>



<sup>3</sup> Conditions in these areas are unknown and are specifically excluded from the inspection and report.

## EXTERIOR<sup>4</sup>

Siding: Composite siding and manufactured stone

Trim: Vinyl, metal and wood or composite

Soffits and fascia: Metal and vinyl

Gutters and downspouts: Aluminum: the downspouts discharge onto the ground.

### Repairs & Concerns

**NOMINAL REPAIR:** The mounting trim block for the right-side exterior spigot is damaged/rotten. See photo.



### General Information

- No visible evidence of significant damage was observed to the soffits and/or fascia.
- The exterior siding is a composite material and manufactured stone. The various manufacturers of these products have exact specifications for their installation. The verification of these installation specifications is beyond the scope of this visual home inspection<sup>5</sup>.
- Most of the exterior appears to have been painted recently. Fresh paint may hide clues from this inspector. A freshly painted house may have had cracks filled or repairs covered over, which may obscure some faults. This is not always the case but should warn you that fewer clues are expected to exist.
- The gutters and downspouts appear to be in adequate condition. Periodically clean out the gutters. Clogged gutters can cause damage to the boxing around the house. There may be damage to the boxing, fascia, and/or end of the rafters behind the gutters, which would not be visible at the inspection.
- Minor peeling and/or faded paint was seen at the front gable. It will not be long before it is time to repaint and recaulk to protect wood. As always, there is the possibility that you may find some additional damaged wood (more than noted in this report) and/or concealed wood damage when repainting. If additional damaged wood is found, concealed or not, unexpected cost could be considerable, depending on the contractor, severity of the damage, and/or location of the damage.
- The wood boxing and/or trim is covered with metal/vinyl, which conceals the wood underneath the metal/vinyl. Conditions of the wood under the metal/vinyl in these areas are unknown and are specifically excluded from the inspection and report.



<sup>4</sup>

Satellite dish (if present) and its components were not inspected and are specifically excluded from this report.

<sup>5</sup> It has been our experience that in many instances, the installation of this type of siding does not fully comply with the manufacturer's exact installation specifications. Recommend consulting the siding/trim manufacturer, their representative, and/or the installing contractor, for additional information and inspection if desired.



## DECKS, PORCHES, STOOPS, AND PATIOS<sup>6</sup>

Deck is constructed of : No deck/balconies present.

Porch is constructed of masonry with wood/composite columns and metal columns/rail/screen at the rear porch

Stoop is constructed of : No stoops present.

Patio is constructed of: No patio is present.

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- The wood trim in various areas around the house have had open joints, allowing water to enter. If repairs are not made, these areas will rot. Recommend sealing and painting these areas. Concealed damage may be revealed during repairs. Some of the probed areas may be more obvious now.



<sup>6</sup> Research has shown that almost all decks are improperly constructed and/or do not fully comply with current or past building standards. The deck(s) on this house was visually examined for obvious problems that may have occurred and if found, they are reported on. Every year, tens of thousands of people are injured in deck-related accidents. Many of these accidents are the result of the deck not being properly secured to the house. Be forewarned that there may be deficiencies, and recommend further evaluation by a specialist if the client wishes additional assurance of the deck's exact condition.

## WINDOWS<sup>7</sup> AND EXTERIOR DOORS

Windows: Vinyl single hung and fixed with thermopane glass

Storm windows: None present

Doors<sup>8</sup>: Metal skinned

Storm doors: One present

Screens: Some present, in typical condition

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- Doors and random windows were operated and found to be functional.
- Maintain the seal around windows and doors to prevent water seepage and damage to wood members.
- Some of the window screens are worn.
- During this inspection, no stains were seen between the thermopane glasses; however, there may be stains when the house is viewed on another day with different weather conditions.

## GARAGE/CARPORT

Type: Two car attached

Garage door: Overhead metal

Automatic opener<sup>9</sup>: Repair needed

### Repairs & Concerns

**NOMINAL REPAIR / SAFETY CONCERN:** The left garage door opener did not reverse direction when it met moderate resistance. This is potentially hazardous for anything that may be in the way of the door while it's closing.

**NOMINAL REPAIR:** The left garage door did reverse when it met resistance, although the amount of force it took to stop it was greater than normal. Recommend adjusting the amount of force needed to stop the door.

**NOMINAL REPAIR:** The left track for the left garage door moves a little when the garage door opener is operated.

**NOMINAL REPAIR:** Both of the garage doors "squealed" a little when operated and are in need of lubrication.

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<sup>7</sup> Window glasses are randomly checked. Any cracked or broken glass observed is reported. Be aware there may be other unreported damaged or cracked glasses.

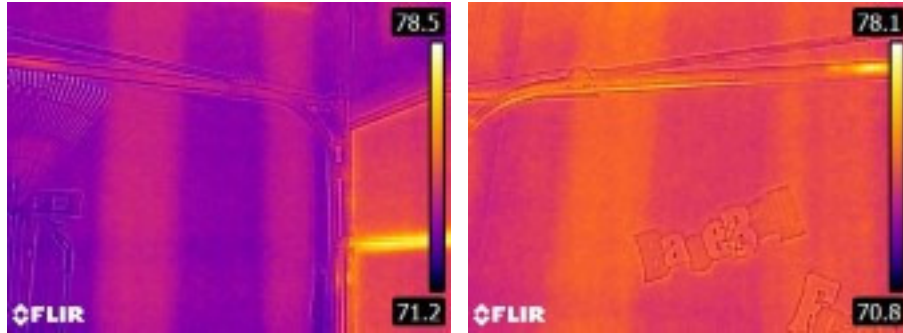
<sup>8</sup> All exterior locks are not operated, and frequently keys are not available. These should be checked on your walk through. Recommend rekeying all exterior locks for security.

<sup>9</sup> The remote garage door activators were not tested or inspected. At most inspections, these activators are not present or available.

**SAFETY CONCERN:** The infrared beams for the garage door openers (X2) are higher than typically installed. These beams are typically installed approximately 6" off the slab, per most manufacturers' specifications. Consult the owner's manual for proper height of these beams.

**INVESTIGATE FURTHER:** There is an obvious cigarette odor in the garage.

**INVESTIGATE FURTHER:** There are "plugs" in areas at the top of the left and right garage walls indicating that insulation most likely has been blown into these walls. The presence of the insulation and/or its adequacy is unknown and excluded from this report. Ask owner about these areas.



### General Information

- Regular lubrication of the tracks and rollers is recommended.
- Both of the garage doors did reverse when the electric beams were broken.
- The top panel of the right garage door is cracked. A "L" shaped piece of metal has been installed across this area to support the panel. Monitor and repair if needed.
- The door to the garage has a window in it. In most jurisdictions and in newer construction solid doors are required as a fire stop.

## DRIVEWAYS, WALKS, AND RETAINING WALLS

Driveway: Concrete

Walk(s): Concrete/stone

Retaining walls are constructed of: None present

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- Drive and walk appear to be performing their intended functions. Typical minor cracks were observed.

## GRADING AND GROUNDS NEAR HOUSE

Grading around the foundation walls: Mixed slopes

### Repairs & Concerns

- No repairs needed or concerns observed in this section.

### General Information

- The grading appears to channel the surface water away from the foundation.
- Any detached structures (outbuildings, fences, etc.) were not inspected and are specifically excluded from this report.

## ROOF<sup>10</sup>

**Area:** Entire roof.

**Roof design:** Gable and shed. The roof was inspected by walking on part of it due to loose shingle granules, height and steepness, wet shingles, from the ground with binoculars and from the air by a drone.

**Roofing material:** Asphalt shingles. Its age was estimated to be 11± years, based on the age of the house and the visible condition of the roofing material. Remaining lifespan is unknown.

The pitch of the roof is moderate to steep.

**Flashings/Roof penetrations (i.e., chimney, plumbing stacks, gas vents, etc.):** Repairs needed. See explanation below.

**Skylights:** None present.

### Repairs & Concerns

**NOMINAL REPAIR:** A missing shingle tab was observed at the front dormer roof. See photo.



<sup>10</sup>The report is not intended to be conclusive regarding the lifespan of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visible and apparent conditions at the time of the inspection. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. The client is advised to ask the seller about the presence of any roof leaks. Any repairs needed should be carried out by licensed personnel. All roofs require periodic maintenance to achieve typical lifespans and should be inspected annually. Nail pattern for roof shingles not confirmed since the nail pattern is not visible without raising the shingles possibly causing damage to the shingles. Expect minor repairs.

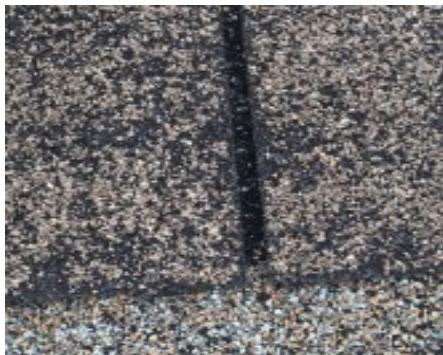
**NOMINAL REPAIR:** A slipping shingle was observed at the flashing area of the front dormer. See photo.



**NOMINAL REPAIR:** Some of the sewer vent pipe boots are top-nailed and have exposed nail heads. See example in photo.



**INVESTIGATE FURTHER:** The roofing material is showing wear in areas. There is significant granule loss in areas. See examples in lower photos. This roof should not be expected to last many more seasons. Have roofer inspect these areas to determine if repairs or replacement is needed.



**INVESTIGATE FURTHER:** Recommend having the licensed roofer inspect the entire roof and its flashings when he is out making the above listed repair(s), and make any other needed repairs at that time, especially since many homes have had weather-related damage due to recent storms in this general area. See related remarks below.



### General Information

- The roofing material is showing wear typical for its age. There is significant granule loss in areas. I was unable to walk most of the roof because of the loose granules and for fear of slipping. One or more of the shingles have been repaired where a crack is visible and been sealed, most likely caused by wind flipping the shingle back. See photo. This roof should not be expected to last many more seasons.
- This is an inspection of the overall general condition of the roofing materials. Most attics have some water stains. Most leaks occur at roof penetrations such as at chimneys, vents, and skylights; where roofs and walls intersect; or in valleys. Most of these types of leaks are not detectable visually from the roof and, unless it has rained recently, stains in the attic would be dry even if the leak is active. Even if there has been recent rain, some leaks only happen in blowing rains or when the rain is blowing from a certain direction. Other leaks may only be detectable after unusually heavy rains or those of long duration. Leaks may also happen from leaf or ice dams on the roof. For these reasons, there could be leaks in the roof that were not detected. Recommend rechecking in the attics for leaks when it is raining<sup>11</sup>.
- This roof was viewed by walking on the front area, from the ground with binoculars and from the air by a drone, due to its height and steepness and loose granular. When viewed in this manner, some deficiencies in the roofing materials may not be visible. Hail damage, which causes small pops or divots in the roof materials, most likely will not be seen. The homeowner should be consulted to determine if they are aware of any hailstorms that may have caused damage to their roof and/or neighbor's roofs. If so, the homeowner should contact their insurance company for further inspection and a possible claim.



<sup>11</sup>This is an inspection of the overall general condition of the roof surface area observed. Most roof problems are caused by improper attachment of the shingles to the roof decking. The nails or staples are concealed; thus, any deficiencies are not visible to inspect without destructive testing. Deficiencies in the installation usually do not become apparent for a number of years. Signs to look for include: slipping, buckling, or blowoffs.

- Viewing wet shingles makes it difficult to determine the actual condition of the shingles. It has been my experience that wet shingles can give the appearance that the shingles are in better condition than if they were viewed when dry. The statements given regarding the shingles and their condition are given with respect as to the visible condition when they were viewed. The actual appearance and/or condition of the shingles may actually be different than stated if viewed when dry.
- Flashings (if present) are not visible where the roofing materials meet the siding. The conditions of the flashings (if present) are unknown and specifically excluded from this report.
- The sewer vent pipe boots are made of a rubber-type material. These boots crack over time where the sewer vent pipe goes through them, due to stress and weather. These rubber boots can and do leak when they crack. These boots should be monitored for cracks and repairs made to the boots when they crack, to eliminate water seepage.
- It is important that leaves and/or debris be kept from accumulating in the valleys and on the roof. Accumulated leaves and/or debris can cause leakage and will accelerate the wear of the roof coverings by trapping moisture.
- Metal roof flashings and/or the sewer vent pipes have been sealed using roofing cement and/or caulking. These sealants require periodic maintenance to remain watertight.
- There is no kick-out flashing at the intersections of shingles and siding at the lower end(s) of the roof-to-wall(s). The flashing is not required but recommended.
- The pitch of the roof over the front dormer is marginal for the roofing material used. This low pitch may be acceptable if certain criteria are met, such as applying two layers of 15 lb. felt or a moisture guard material underneath these shingles (which was not verified). Most shingle manufacturers require at least a 4/12 pitch for asphalt shingles. Typical building standards will allow as low as a 2/12 pitch. This low pitch may cause these shingles to prematurely wear or leak. Due to the pitch, we are unable to determine their life expectancy. No problems were seen at inspection.
- There are mildew stains on the roof, but it has been our experience that these typically do not affect the life of the roofing material.
- Some waviness or humps are visible in the roofline. This is probably the result of slight differences in the sizes and alignment of the roof framing, warpage of the roof decking, or due to the spacing of the rafters/trusses. Where visible, these areas were observed from the attic, and no deficiencies were seen.

## ATTIC

The attic was inspected by crawling or walking through the readily accessible areas. Roof sheathing and framing were observed for signs of deterioration and structural deficiencies. Water stains were observed and where accessible, tested dry using a moisture meter.

Roof framing: Trusses sheathed with OSB structural panels.

Ventilation: Soffit, gable and through roof

Insulation: Blown and batt fiberglass

Approximate insulation thickness: Varies, 6-12± inches.

### Repairs & Concerns

**MINOR REPAIR:** The blown insulation depth varies in areas of the attic. It looks to have been smashed down by contractors crawling/walking through it, or by stored items in the attic, which reduces its effectiveness. Additional insulation to form a more uniform and/or deeper coverage would improve energy efficiency.

### General Information

- The remote areas of the attic that are not readily accessible were not inspected because of limited or no accesses, due to the design and undisturbed insulation. Conditions in these areas (including watertightness of the roof, framing, insulation, etc.) are unknown and are specifically excluded from the inspection and report.



- Attic insulation covers most of the ceiling joists and ceilings. Insulation was not pulled back to view the joists or ceilings. There can be damage or deficiencies that are not visible because of the insulation.
- Nearly all attics have water stains. Light stains indicate leaks of short duration, and many of these happen during construction. Unless it has rained recently and these stains are wet, or there is an obvious deficiency on the roof, it is not possible to determine if light stains are old leaks or one that started recently. Black stains, which may also be rotting, indicate leaks over a long period of time. Leaks that cause black stains are usually fairly small and are not enough to cause water to leak into the attic where they would be seen. Stains were seen in this attic. Recommend periodically checking the attic while it is raining.
- The bathrooms' vent fans discharge into attic. While technically these should have ducts that discharge to the exterior, this is usually not done in this climate. Our winters are mild and the moisture from the baths is seldom enough to cause significant condensation. No problems seen in this attic caused by condensation.
- Insulate over and weatherstrip around the attic access so that it seals around the opening when closed, for better energy efficiency.



## ELECTRICAL SYSTEM<sup>12</sup>

The 120/240-volt, 200-amp service enters the house from underground and is not visible for inspection.

The service entrance wire is aluminum.

The main service panel is located outside at meter. The over current protection devices are circuit breakers. The panel cover was removed and the components inside observed.

Branch panel locations: Garage. All panels were opened and examined.

Service ground connections visible: To rod at meter and to gas pipe at meter - appears adequate.

Most of the wiring observed was copper in non-metallic cable.

Receptacles: Random receptacles were tested using a testing device for 3 prong plugs.

Ground Fault Circuit Interrupter (GFCI) devices<sup>13</sup>: Present

Ground Fault Circuit Interrupters Breakers are located: kitchen, bathroom

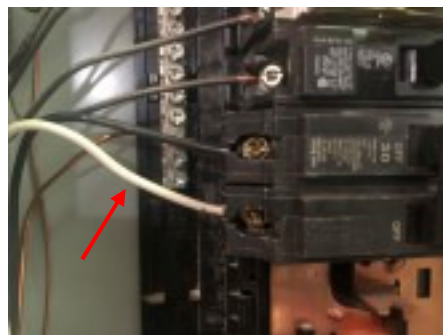
The typical number of Arc Fault Breakers are located in the main electrical panel.

Smoke detector(s) are present. Smoke detector(s) are not inspected. The smoke detector(s) should be tested upon moving and monthly thereafter.

### Repairs & Concerns

**INVESTIGATE FURTHER:** The breaker (GE brand) used for the garage HVAC system is not the same brand (SQ D) as the panel. Check with the installing electrician to determine if this breaker is compatible with this panel.

**NOMINAL REPAIR:** The white electrical wire connected to 240-volt breaker in the branch panel in the garage HVAC is not labeled as power wire (white wire not labeled or marked as a power/hot black). See photo



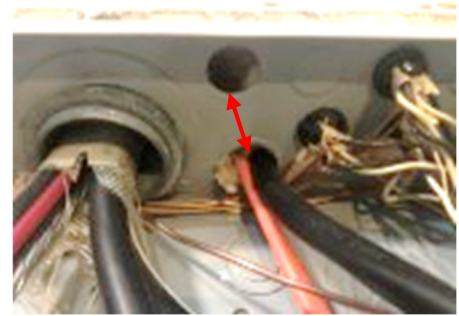
**MINOR REPAIR:** The mini split heat pump is labeled for a maximum of a 20-amp size breaker. It is presently "protected" by a 30 amp breaker. In the event of a defect, the breaker might not protect the equipment and the wires connected to it. This is a potential hazard that can easily be corrected by having a licensed electrician replace the breaker with the correct size, as specified by the heat pump's manufacturer.

**NOMINAL REPAIR:** One or more wires do not have a clamp or bushing installed where they enter the panel. See photo. All wires entering the panel box should have romex clamps or bushings around them to prevent damage to the wires.

<sup>12</sup> The inspection does not include low voltage systems, telephone wiring, intercoms, alarm systems, cable TV wiring, invisible fencing, network wiring, timers or smoke detectors. If the building has no smoke detectors, the Inspector strongly urges their installation. Smoke detectors should be checked periodically to be sure they are working.

<sup>13</sup> A ground fault circuit interrupter is a modern electrical device, either a receptacle or a circuit breaker, which is designed to protect people from electric shock. They are now required in wet or damp environments. In the event of a fault in an appliance that you are touching, the current that passes through your body to ground is detected and the circuit is shut off, protecting you from potentially fatal shocks. The Inspector recommends that all receptacles located in the kitchen, baths, garage, at spas, hot tubs, fountains, pools, crawlspaces and outdoors be upgraded to the Ground Fault Circuit Interrupter type by a licensed electrician.

**NOMINAL REPAIR:** An open area (open knock out) was found in the main electrical panel box. See photo. All openings should be sealed.



### General Information

- No discrepancies were seen in the main panel.
- Not able to determine the function of all light switches. Have owner demonstrate their functions.
- Insulation covers most of the electric wiring in the attic. Insulation was not pulled back to view these wires. There can be damage or deficiencies that are not visible because of the insulation.
- The ceiling fan(s) operated normally in the speed they were in when turned on. They were not operated in all speeds or reversed if they have that feature.
- The wiring and electrical equipment observed are typical for houses this age. Some parts of the electrical system do not meet the safety standards that would be used for new construction today. Consult an electrician to determine whether or not it would be cost effective for you to modernize the system.



- Recessed lighting fixtures are present. No labeling was seen on the exterior housings of the fixtures checked to indicate whether they are rated for insulation contact or not. However, if these fixtures are not so rated, this can be a potential fire hazard.
- Because of the amount of furniture in the house, few receptacles could be reached to check. All the receptacles tested were wired correctly.
- The electrical panel is labeled to indicate which circuits they control. It was not determined whether or not these are labeled correctly.

## PLUMBING SYSTEM<sup>14</sup>

The water is supplied by the public water system.

The main water service pipe is PEX (plastic), where located.

Readily visible plumbing supply pipes are PEX (plastic).

The waste system is connected to the public sewer system, per agent, but this was not verified.

Waste pipes are plastic.

Most all of the piping is concealed and cannot be inspected.

The gas, 50 gallon, Smith brand water heater is located in the garage and is dated 2021. Hot water was present at the fixtures.

The temperature of the hot water measured 151.1°. Hot water temperature can vary depending upon usage. Recommended maximum hot water temperature is 120°, for safety.

Main shut off valve(s): At meter(s). The valve(s) was not tested. The backflow prevention device, if present, was not located.

The water pressure at the time of inspection measured 65 PSI. Normal water pressure ranges from 40 PSI to 80 PSI. A pressure regulating valve is present. Water pressure can vary depending on the municipal system.

### Repairs & Concerns

**NOMINAL REPAIR:** MBR Bath: A small leak was found at the tub's cold water fixture handle when operated. See photo.



**SAFETY CONCERN:** The hot water temperature measured 151.1°. Hot water above 120 degrees can scald. The present temperature is too hot and should be lowered. This is especially true if small children, infants, or the elderly will be living in the home.

**NOMINAL REPAIR:** A few of the plumbing fixtures handles/knobs are loose.

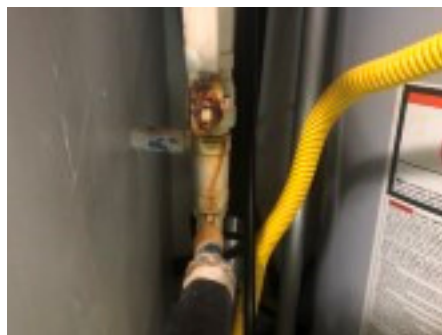


<sup>14</sup>

Wells, septic systems, sewer lines, and water treatment equipment are not inspected and are expressly excluded from the inspection and report. It is recommended that well water be tested by a licensed laboratory. No water testing of any type is performed. If the house has a septic system, inspection and pumping by a septic tank contractor should be done before closing. Septic tanks need regular pumping.

## General Information

- Water was run through all fixtures and drains. Functional flow and drainage were observed where tested, unless noted above.
- The anti-scald valve(s) within the fixture(s) may need to be adjusted if the hot water does not get hot enough to meet your needs.
- No sewer back up or evidence of back up was observed during the inspection unless mentioned above. The condition of the underground sewer drain pipe(s) and main incoming water pipe are unknown and excluded from this inspection. It is possible that if there is a blockage in the sewer drain pipe that it will not be evident during the inspection since operating plumbing fixtures during the inspection does not put the demand on a drainage system that it would if a family were using more than one of the plumbing fixtures at the same time.
- The shut off valves were not tested. Their condition is unknown and excluded from the inspection and report.
- Kitchen Sink: OK
- Hall Bath: OK
- Maintain the seal around the plumbing fixtures and surrounds to prevent water seepage and damage.
- Tile walls in the tub(s) and/or shower(s) were tapped to test for signs of deterioration. None were observed.
- The washer and dryer connections were visibly inspected but were not operated or tested for functional flow or drainage. They are located in the laundry area.
- There is also a water shut off valve at the main incoming water line in the garage
- The water supply piping is half inch, which can allow for fluctuations in the water temperature and volume when more than one fixture is on simultaneously. This size piping is typical for this age house.
- For testing purposes, a stopper was placed over the ceramic tile shower drain and the shower base was filled with water to check for leaks. No leakage or stains were seen around the shower, which indicates that it has not leaked in the past. If the shower is not used regularly, leakage may not become apparent until after continued use. This type of leakage may not occur with this testing procedure.
- The water heater's pan and/or its drain were not tested for watertightness and functional flow.
- The water heater's metal flue is not visible/accessible from the attic. Conditions of the components in this area are unknown and are specifically excluded from this report.
- The areas under the bathroom/kitchen sinks are not readily accessible, due to personal stored items (towels, cleaning supplies, toiletries, etc.). These items were not moved. The area and plumbing pipes that were visible were viewed, and no leakage was seen, unless noted above; however, it is possible that there may be leakage or damage to the base cabinet that is not visible without removing the personal items.
- Corrosion of metal pipe fittings was observed at the main water cut off area. See photo. No leakage was seen, but corrosion should be interpreted as having leakage potential.



- All of the home's visible water supply piping is PEX (cross-linked polyethylene) and this is the standard piping now used in new construction. Certain types/brands of PEX and its fittings have been involved in class action lawsuits for failures in the pipes (fractures, small holes, etc.) and fittings that cause leaks/flooding in the dwellings. Installation errors have also been blamed for the failures. No visible leaks were present on the day of inspection unless noted above. The specific brand of PEX piping or fittings in this home was not determined during this inspection. For information on this pipe, visit [www.pexsystemsettlement.com](http://www.pexsystemsettlement.com). Additional PEX information can be found on the internet. Recommend reviewing some websites to learn what is being said and so you can make your own decision about PEX piping. Also, recommend consulting a licensed plumber, if concerned. Client is reminded that all types of supply piping have known issues and none are problem free.

## HEATING AND AIR CONDITIONING SYSTEM<sup>15</sup>

**Area:** Entire house.      **Type of system:** Forced air gas furnace with central A/C.

### Heating System:

The furnace's manufacturer is Lennox.

The estimated heating capacity is 88,000 BTU.

The age/date of the furnace is 2011.

Furnace location: in the attic.

### Cooling System:

The air conditioning's manufacturer is Lennox. The evaporator coil's manufacturer is Lennox.

The estimated cooling capacity is 3½ tons.

The age/date of the air conditioner is 2012. The age/date of the evaporator coil is 2021.

Cooling temperature split (differential) at the registers was: 16.8 degrees. (Difference in temperature of the air after it has been cooled by the system. Acceptable range is 13-22 degrees.)

Outdoor temperature during inspection: 73 degrees.

Condensing unit amperage: (Total for unit. Compressor and fan.): 10.2 amps. Labeled RLA (Total): 20.5 amps.

Condensate drain: Present, appears functional.

Auxiliary drain pan: Pan appears functional. Float switch present (not tested).

Air filter(s) are present.

Thermostat: Functional.

The heating and cooling system ducts and a representative number of registers were observed where readily accessible and appear to be in adequate condition. The duct system is insulated flexible and sheetmetal.

## Repairs & Concerns

<sup>15</sup>

The report should not be read as a prediction of the remaining lifespan of the air conditioning/heating system. Typical lifespans of equipment may range from 8-12 years, but there are many exceptions to this. Most compressors are warranted for only 5 years. Replacement of a compressor alone may cost from \$600-\$800. It is recommended that the client purchase a warranty or repair service contract to cover replacement or repair. Be advised that defects or failure can occur at any time and that the inspection in no way lessens the risk or likelihood of repairs or replacements being needed at any time in the future, including the day after the inspection. Auxiliary condensation pans and/or drains, if present, are not checked for water tightness and/or functional flow. Any mechanical equipment can fail without warning at any time. Window units are not inspected beyond verifying operation. No report is made on the lack of regular service in the past. It is recommended that all equipment be serviced annually. Regular service is very important for efficient operation and to achieve maximum lifespan. Filters should be changed monthly.

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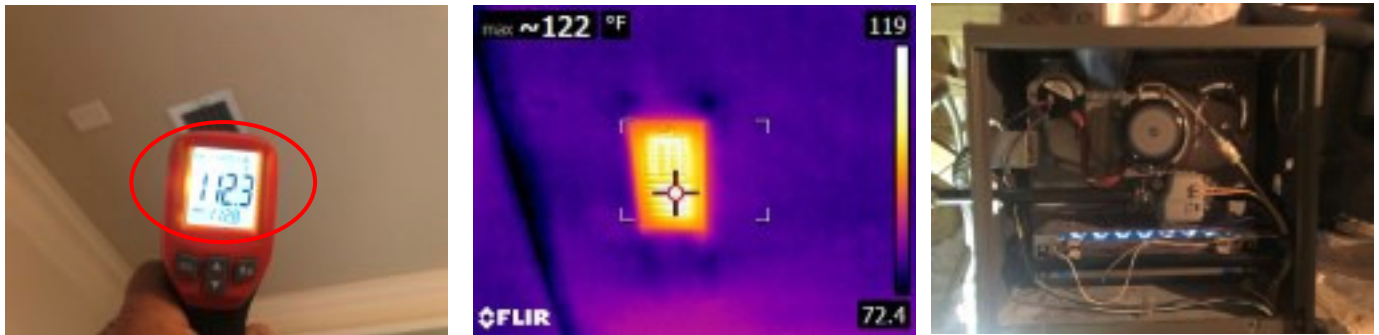


**NOMINAL REPAIR:** The safety door switch inside the furnace has been taped over. This does not allow the switch to perform its intended function. The tape should be removed permanently and verify that the switch is functioning properly.

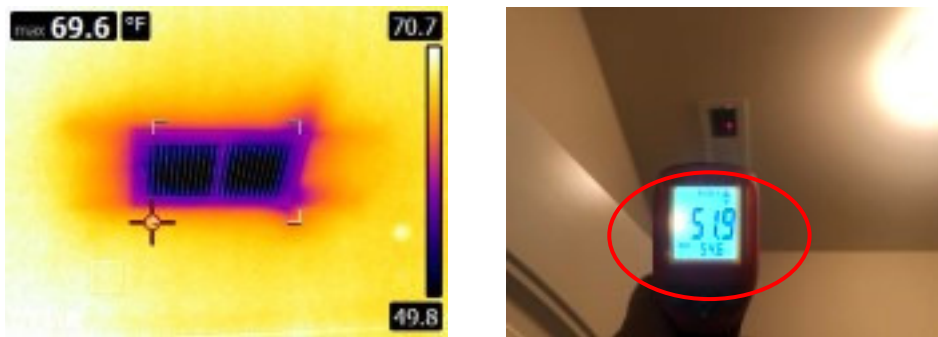
**NOMINAL REPAIR:** Conditioned air loss (leakage) was noted at the evaporator coil in the attic. Seal around these areas, for better energy efficiency.

### General Information

- The gas furnace was visually examined and operated using normal controls. It appears functional. No problems were seen with the flue pipe. There is no access to view the heat exchanger, due to the design of the furnace, without disassembly. See footnote below.<sup>16</sup>



- The air conditioning system was operated during this inspection. The running signs, amp draw, temperature drop, and operation were all within acceptable ranges.



- Recommend annual service on the HVAC system(s), as this servicing may detect concerns that are not obvious during our visual inspection. The homeowner stated that they had the HVAC system checked every three months. Recommend obtaining copies of these records for future reference.
- No verification/evaluation was made as to the proper sizing of the HVAC ducts, returns, and/or placement of or lack of supply registers for this system. The performance, or efficiency of the HVAC unit and/or ducts was not determined and is beyond the scope of a brief visual inspection. These calculations should have

<sup>16</sup>

Heat exchangers that are rusted are obviously not as strong as they once were and may have perforations behind the rust. They should be cleaned, examined, and if need be, tested. No wiring, safety switches/devices, or mechanics inside the furnace were viewed, since no panels or covers are removed. Condition of the heat exchanger is unknown and is specifically excluded from the inspection and report. The best way to inspect a furnace and heat exchanger is to disassemble the unit. We recommend that you contact a licensed HVAC contractor for this service.

been taken in consideration/evaluated when the HVAC system was installed. If there is a question or concern, the installing contractor should be consulted.

- Because of condensation on AC evaporator coils, this is one of the sources of mold and mildew in homes. Most coils are like this one and are not visible without some dismantling, but many that are visible are clogged with mold and dust. No dismantling was done. When serviced, ask the HVAC technician to check evaporator coil and clean if need.
- A CO (carbon monoxide) test could not be performed at the furnace without disassembling the furnace, due to design or limited access to the flue. No CO was detected at the supply registers with a Bacharach CO Analyzer.
- This system is at the age where repairs or replacement would not be unexpected at any time. See footnote below<sup>17</sup>.
- This HVAC system is controlled by a computerized, programmable thermostat. The programmable section of this thermostat was not inspected. Have owner or licensed HVAC contractor demonstrate and explain its operation.

**Area two: Garage**

**Type of system: Mini split ductless heat pump**

**Heating and Cooling System (same units):**

The heat pump's manufacturer is Gree

The air handler's manufacturer is Gree

The heat pump size is estimated to be 1½ tons

The age/date of the heat pump is estimated to be 2± years per owner.

The heat pump is located: Outside. The air handler is located: right wall of the garage

Cooling temperature split (differential) at the unit was: 14.9 degrees. (Difference in temperature of the air after it has been cooled by the system. Acceptable range is 13-22 degrees.)

Condensing unit amperage: (Total for unit. Compressor and fan.): 1.9 amps. Labeled RLA (Total): 10.9 amps.

Condensate drain: Present, appears functional.

Auxiliary drain pan: N/A

Air filter(s) are present.

Thermostat: Functional.

**Repairs & Concerns**

No repairs needed or concerns observed in this section.

<sup>17</sup> Typical lifespans of equipment may range from 8-12 years, but there are many exceptions to this.

### General Information

- The mini split ductless heat pump was operated in the cooling mode only. Temperature drop and amp draw were typical. It appears functional.<sup>18</sup>



### CHIMNEY AND FIREPLACE<sup>19</sup>

Chimney/flue type: Metal prefabricated in a wood framed structure.

Cap: Metal with a spark arrester.

Fireplace type: Metal prefabricated with a masonry liner.

Damper: N/A

### Repairs & Concerns

**INVESTIGATE FURTHER:** It was not determined for certain if these gas logs are the vented or ventless type. Ask owner for documentation as to what type of gas logs these are. Read the instructions before using these logs.

<sup>18</sup>

No panels or covers of the heat pump were removed. There was no inspection of the wiring, coil, safety switches/devices, or mechanics inside the heat pump, since no panels or covers are removed. The system was operated in the mode the thermostat was set to prior to the inspection; therefore, the reversing valve was not operated or inspected. The best way to inspect it is to disassemble the unit. We recommend that you contact a licensed HVAC contractor for this service.

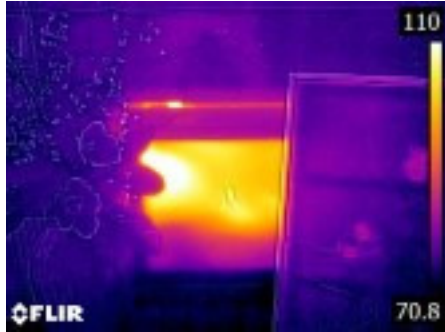
<sup>19</sup>

It is important that a chimney be cleaned on a regular basis to prevent a buildup of creosote in the flue, which can catch fire. It is recommended that the chimney be examined and cleaned if needed before use each year. The chimney should be inspected by a licensed chimney contractor prior to closing. The chimney and fireplace are examined visually. A fire is not started. No comment is made on the efficiency or operation of either. Research has shown that almost all fireplaces (especially masonry) are improperly constructed and/or do not fully comply with current or past building standards. Be forewarned that there may be deficiencies, and recommend further evaluation by a specialist if the client wishes additional assurance of the fireplace's exact condition.



### General Information

- Gas logs were in the fireplace, and these were operated. Since there are gas logs in the fireplace, it is recommended that you install carbon monoxide detectors, for safety.<sup>20</sup>
- There are gas logs installed inside the firebox. It was not determined if these gas logs are designed and/or approved for this fireplace. It is not known if these gas logs are installed in accordance with the manufacturers' specifications. Recommend checking with the fireplace and gas log manufacturers for further information.



- The metal chimney flue and inside the chimney were not fully visible from the attic. Conditions of the components in these areas are unknown and are specifically excluded from the inspection and report.



<sup>20</sup> Not able to view the bottom of the firebox, due to the sand, rockwool, etc., for the gas logs.

## INTERIOR<sup>21</sup>

Walls and ceilings: Typical settlement cracks were seen.

Floors: Concrete slab on grade.

No floors are perfectly level. The floors have a typical amount of slope.

Wood framed floors "bounce" or flex to a certain degree. The wood floors have a typical amount of bounce.

Interior doors: Doors are functional.

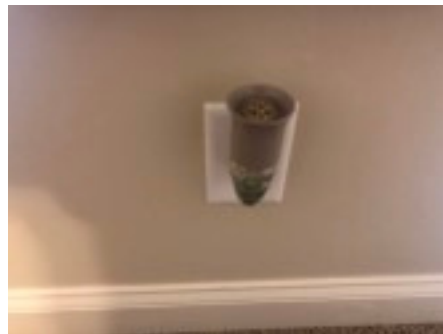
Cabinets and countertops: The kitchen cabinets appear to be in typical condition for age.

### Repairs & Concerns

**NOMINAL REPAIR:** One or more interior door stops are missing.

### General Information

- The inspected components appear to be in typical condition for this age house.<sup>22</sup>
- This home inspection is not an environmental assessment. Molds/mildews/fungi are usually found in areas that are not visible, such as inside walls, behind furniture, in carpets, and inside HVAC ducts. Mold/mildew/fungi are common and are found in most buildings where moisture is present. Most molds/mildews/fungi are fairly harmless; however, there are molds/mildews/fungi that can make people sick. Special testing is needed to determine whether there is a type of harmful mold or mildew in this house. If anyone that is allergic to molds/mildews/fungi will be living in the home, a special inspection should be conducted.
- The EPA recommends testing all homes for radon gas. This service is available upon request from Buyers' Inspection Group, Inc.<sup>23</sup>
- Carbon monoxide detectors are recommended.
- It was noted that there are several Heppa filters operating inside the house and plug ins which can mask odors.



<sup>21</sup>

Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. This type of cracking is usually caused by settlement and/or shrinkage of building components. Small cracks of this type are not mentioned in the report. The condition of floors underneath carpet and other coverings cannot be determined and is excluded from the inspection and report.

<sup>22</sup>

In occupied homes, there are furniture/personal belongings against its walls and/or inside the closets. The furniture/personal belongings were not moved, nor were the items in the closets removed. There is always the possibility of concealed damage at the baseboards or trim and in other areas that may not be visible or readily accessible. Conditions in these inaccessible areas could bring to light problems or concerns that might not be visible (i.e., damaged baseboard, trim, damaged window trim, or wall behind an entertainment center or dresser could indicate moisture or termite damage). Conditions in these areas are unknown and are specifically excluded from the inspection and report.

<sup>23</sup>

Any radon gas abatement systems and/or vents were not inspected and are specifically excluded from this inspection and report.

- The security system was not inspected, and its condition is unknown and specifically excluded from this report.
- The areas under the bathroom/kitchen sinks are not readily accessible, due to personal stored items (towels, cleaning supplies, toiletries, etc.). These items were not moved. The area and plumbing pipes that were visible were viewed, and no leakage was seen, unless noted above; however, it is possible that there may be leakage or damage to the base cabinet that is not visible without removing the personal items.



## APPLIANCES<sup>24</sup>

Range: Operated, appears functional.

Microwave: Operated, appears functional.

Range hood (microwave): Operated, appears functional.

Dishwasher: Operated, appears functional.

Disposal: Operated, appears functional.

Refrigerator: Present, not inspected.

Garage refrigerator: Present, not inspected.

Washer: Present, not inspected.

Dryer: Present, not inspected.

## Repairs & Concerns

**INVESTIGATE FURTHER:** The oven was not operated in the cleaning cycles since the racks must be removed for the standard cleaning cycle and the steam cleaning cycles. The racks were not removed. Have owner demonstrate these cycles.

**INVESTIGATE FURTHER:** The interior of the dryer vent pipe is not visible to view for clogging. Recommend having the dryer vent checked/cleaned as a precautionary measure.

<sup>24</sup> Appliances are tested by turning them on briefly. Extensive testing of timers, thermostats, and other controls is not performed. No report is made regarding the effectiveness of any appliances. It is impossible to thoroughly check a washer and dryer without a load of clothes. The inspection only determines whether or not the appliances operate. The Inspector recommends that appliances and all other components be tested again during a pre-closing walk through. The inspection is not an assurance that the appliances will continue to work in the future. Appliances can fail at any time, including the day after the inspection. The Inspector recommends the purchase of a warranty or repair service contract to cover repairs to the appliances.

## General Information

- Per owner the appliances are new. Recommend obtaining a copy of the invokes for future reference.
- The cooking appliances are electric.
- Any electrical and/or gas connections for dryers were not inspected and are excluded from this inspection.
- The washer and dryer connections were not readily visible and were not operated or tested for functional flow or drainage. They are located in the laundry area.
- The dryer vent pipe goes straight up into the attic and exits through the roof. This sometimes makes it hard for the dryer to push the lint all the way up to where the vent pipe exits. This will require periodic cleaning of the vent pipe to keep it clean and functional.
- Per owner the appliances are relatively new. Recommend obtaining documentation regarding the appliances for future reference.

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## END OF REPORT

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